

ORDINANCE NO. 713

AN ORDINANCE AMENDING THE UNIFIED DEVELOPMENT CODE OF THE CITY OF KENNEDALE, TEXAS, BY CHANGING THE ZONING CLASSIFICATION OF CERTAIN PROPERTY WITHIN THE CITY LIMITS OF THE CITY OF KENNEDALE FROM "R3" RESIDENTIAL DISTRICT TO "PD" PLANNED DEVELOPMENT DISTRICT; PROVIDING FOR THE AMENDMENT OF THE OFFICIAL ZONING MAP TO REFLECT SUCH CHANGES; PROVIDING THAT THIS ORDINANCE SHALL BE CUMULATIVE OF ALL ORDINANCES; PROVIDING FOR A PENALTY FOR VIOLATIONS HEREOF; PROVIDING A SAVINGS CLAUSE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING FOR PUBLICATION IN THE OFFICIAL NEWSPAPER; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the City of Kennedale Texas is a Home Rule municipality acting under its charter adopted by the electorate pursuant to Article XI of the Texas Constitution and Chapter 9 of the Local Government Code; and

WHEREAS, pursuant to Chapter 211 of the Local Government Code, the City has adopted a comprehensive zoning ordinance and map regulating the location and use of buildings, other structures and land for business, industrial, residential or other purposes for the purpose of promoting the public health, safety, morals and general welfare, all in accordance with a comprehensive plan; and

WHEREAS, the property described below is within an area designated as Neighborhoods in the Future Land Use Plan within the comprehensive land use plan; and

WHEREAS, the City Council has determined that the "PD" Planned Development district is the most suitable zoning district for the property described below, in accordance with the comprehensive land use plan, and with the standards in the Unified Development Code; and

WHEREAS, a public hearing was duly held by the Planning and Zoning Commission of the City of Kennedale on the 10th day of September, 2020 and by the City Council of the City of Kennedale on the 15th day of September, 2020 with respect to the zoning changes described herein; and

WHEREAS, all requirements of law dealing with notice to other property owner, publication and all procedural requirements have been complied with in accordance with Chapter 211 of the Local Government Code; and

WHEREAS, the City Council does hereby deem it advisable and in the public interest to amend the City's Zoning Ordinance as described herein.

NOW, THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF KENNEDALE, TEXAS, THAT:

SECTION 1.

The Comprehensive Zoning Ordinance is hereby amended so that the zoning classification and the uses in the hereinafter described area shall be changed and/or restricted as shown and described below:

An approximately 6 acre tract described as 439 Mansfield Cardinal Road, Harris Hills Estate, Block 1, Lot 1R, City of Kennedale, Tarrant County, Texas ("the Property"), as more particularly described on Exhibit "A" attached hereto and incorporated herein; "R3" Residential District to "PD" Planned Development district

SECTION 2.

The uses in the PD shall conform to the uses permitted in the "R-3" single-family residential zoning district. The PD development shall be subject to the restrictions, terms and conditions set forth in the Concept Plan and Development Regulations, attached hereto as Exhibit "C" and Exhibit "B" respectively, and the UDC for the purpose of promoting the health, safety, morals and general welfare of the community. The Development Standards in Exhibit "B" shall supersede those in the UDC in case of any conflict. All other standards shall meet the City of Kennedale UDC, as amended. They have been designed to lessen congestion in the streets, to secure safety from fire, panic, flood and other dangers, to provide adequate light and air, to prevent overcrowding of land, to avoid undue concentration of population, and to facilitate the adequate provisions of transportation water, sewerage, parks and other public requirements. They have been made after a full and complete hearing with reasonable consideration among other things of the character of the district and its peculiar suitability for the particular uses and with a view of conserving the value of the buildings and encouraging the most appropriate use of land throughout the community.

SECTION 3.

The City Secretary is hereby directed to amend the official zoning map to reflect the changes in classifications approved herein.

SECTION 4.

This Ordinance shall be cumulative of all provisions of ordinances and of the Code of Ordinances of the City of Kennedale, Texas (1991), as amended, including but not limited to all Ordinances of the City of Kennedale affecting zoning and land use, and shall not repeal any of the provisions of such ordinances except in those instances where provisions of such ordinances are in direct conflict with the provisions of this ordinance.

SECTION 5.

Any person, firm or corporation who violates, disobeys, omits, neglects, or refuses to comply with or who resists enforcement of any of the provisions of this ordinance shall be fined not more than Two Thousand Dollars (\$2,000.00) for each offense. Each day that a violation is permitted to exist shall constitute a separate offense.

SECTION 6.

All rights or remedies of the City of Kennedale, Texas are expressly saved as to any and all violations of any ordinances governing zoning or of any amendments thereto that have accrued at the time of the effective date of this Ordinance as to such accrued violations and all pending litigation both civil and criminal same shall not be affected by this Ordinance but may be prosecuted until final disposition by the Courts.

SECTION 7.

It is hereby declared to be the intention of the City Council that the phrases, clauses, sentences, paragraphs, and sections of this Ordinance are severable, and if any phrase, clause, sentence, paragraph, or section of this Ordinance shall be declared invalid or unconstitutional by the valid judgment or decree of any court of competent jurisdiction, such invalidity or unconstitutionality shall not affect any of the remaining phrases, clauses, sentences,

paragraphs, or sections of this Ordinance, since the same would have been enacted by the City Council without the incorporation in this Ordinance of any such invalid or unconstitutional phrase, clause, sentence, paragraph, or section.

SECTION 8.

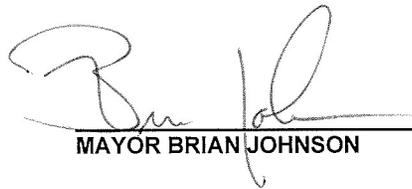
The City Secretary of the City of Kennedale is hereby directed to publish the caption, Section 1, the penalty clause, the publication clause, and the effective date clause of this ordinance in every issue of the official newspaper of the City of Kennedale for two days or one issue of the newspaper if the official newspaper is a weekly newspaper as authorized by Section 3.10 of the City of Kennedale Charter.

SECTION 9.

This ordinance shall be in full force and effect from and after its passage and publication as required by law and it is so ordained.

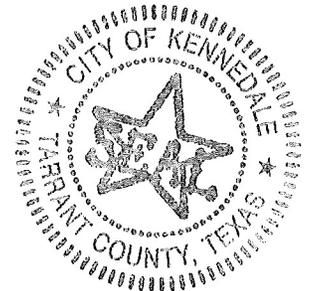
DULY PASSED, ADOPTED, AND APPROVED BY THE CITY COUNCIL OF THE CITY OF KENNEDALE, TEXAS, ON THE 15TH DAY OF SEPTEMBER, 2020.

APPROVED:


MAYOR BRIAN JOHNSON

ATTEST:


CITY SECRETARY LESLIE E. GALLOWAY



APPROVED AS TO FORM AND LEGALITY:


CITY ATTORNEY DREW LARKIN

EFFECTIVE DATE:

09/23/2020

ORDINANCE NO. 713 - EXHIBIT "A"

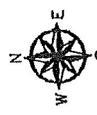
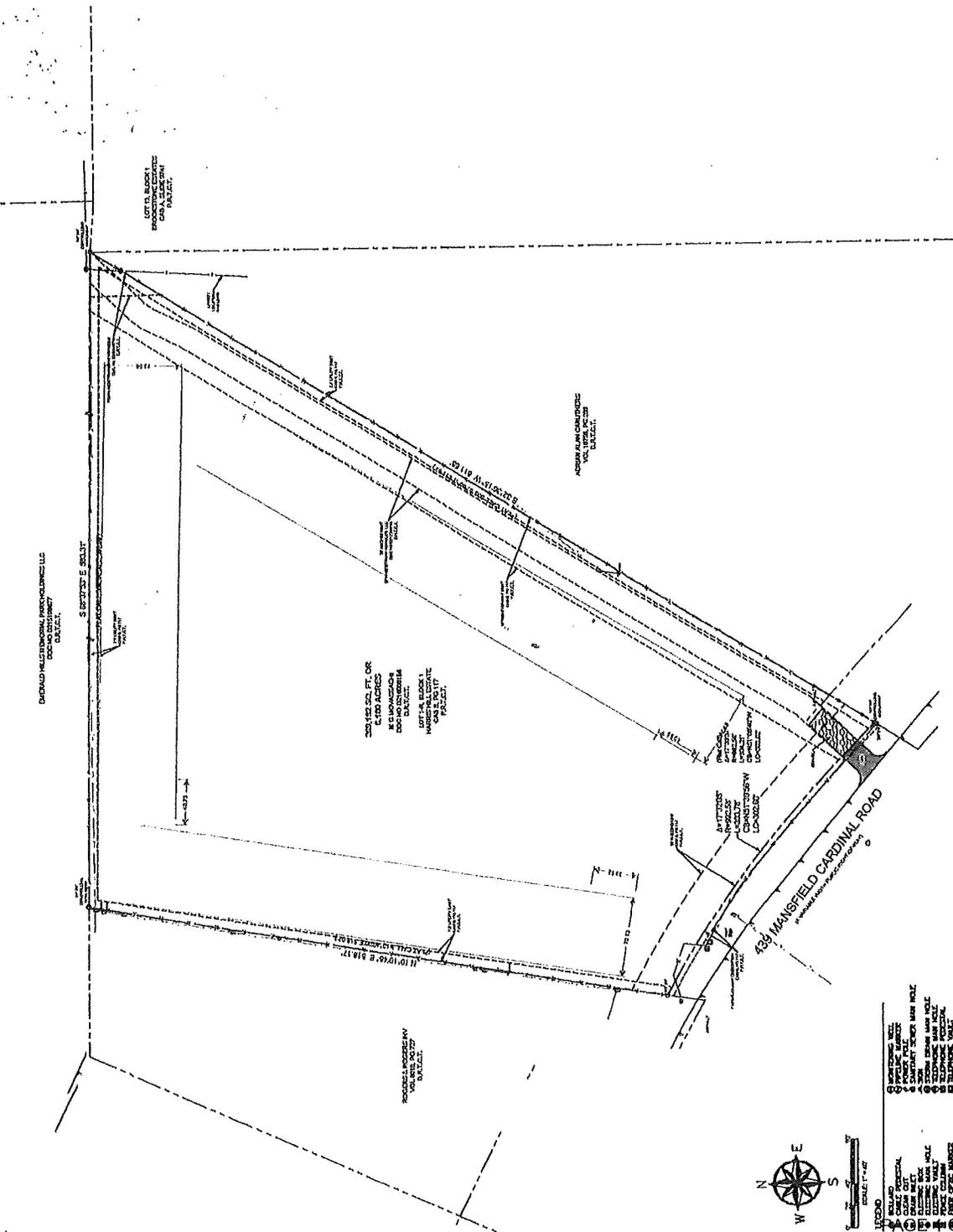
Lot 14, Block 1, HARRIS HILL ESTATE, as shown in the City of Kennedale, Tarrant County, Texas, according to plat recorded in Chapter 11, Book 117, Deed Records of Tarrant County, Texas.

- 1. A 7.5 foot wide easement along the North, West and South boundaries of the property for utility lines shall be subject to the easement shown in Exhibit B, Book 117, Deed Records of Tarrant County, Texas, Chapter 11, Book 117, Deed Records of Tarrant County, Texas.
- 2. A 5 foot wide easement along the East boundary of the property, as shown by plat recorded in Chapter 11, Book 117, Deed Records of Tarrant County, Texas.
- 3. A 5 foot wide easement along the East boundary of the property, as shown by plat recorded in Chapter 11, Book 117, Deed Records of Tarrant County, Texas.
- 4. A 5 foot wide easement along the East boundary of the property, as shown by plat recorded in Chapter 11, Book 117, Deed Records of Tarrant County, Texas.
- 5. A 5 foot wide easement along the East boundary of the property, as shown by plat recorded in Chapter 11, Book 117, Deed Records of Tarrant County, Texas.
- 6. A 5 foot wide easement along the East boundary of the property, as shown by plat recorded in Chapter 11, Book 117, Deed Records of Tarrant County, Texas.
- 7. A 5 foot wide easement along the East boundary of the property, as shown by plat recorded in Chapter 11, Book 117, Deed Records of Tarrant County, Texas.
- 8. A 5 foot wide easement along the East boundary of the property, as shown by plat recorded in Chapter 11, Book 117, Deed Records of Tarrant County, Texas.
- 9. A 5 foot wide easement along the East boundary of the property, as shown by plat recorded in Chapter 11, Book 117, Deed Records of Tarrant County, Texas.
- 10. A 5 foot wide easement along the East boundary of the property, as shown by plat recorded in Chapter 11, Book 117, Deed Records of Tarrant County, Texas.
- 11. A 5 foot wide easement along the East boundary of the property, as shown by plat recorded in Chapter 11, Book 117, Deed Records of Tarrant County, Texas.
- 12. A 5 foot wide easement along the East boundary of the property, as shown by plat recorded in Chapter 11, Book 117, Deed Records of Tarrant County, Texas.
- 13. A 5 foot wide easement along the East boundary of the property, as shown by plat recorded in Chapter 11, Book 117, Deed Records of Tarrant County, Texas.
- 14. A 5 foot wide easement along the East boundary of the property, as shown by plat recorded in Chapter 11, Book 117, Deed Records of Tarrant County, Texas.
- 15. A 5 foot wide easement along the East boundary of the property, as shown by plat recorded in Chapter 11, Book 117, Deed Records of Tarrant County, Texas.
- 16. A 5 foot wide easement along the East boundary of the property, as shown by plat recorded in Chapter 11, Book 117, Deed Records of Tarrant County, Texas.
- 17. A 5 foot wide easement along the East boundary of the property, as shown by plat recorded in Chapter 11, Book 117, Deed Records of Tarrant County, Texas.
- 18. A 5 foot wide easement along the East boundary of the property, as shown by plat recorded in Chapter 11, Book 117, Deed Records of Tarrant County, Texas.
- 19. A 5 foot wide easement along the East boundary of the property, as shown by plat recorded in Chapter 11, Book 117, Deed Records of Tarrant County, Texas.
- 20. A 5 foot wide easement along the East boundary of the property, as shown by plat recorded in Chapter 11, Book 117, Deed Records of Tarrant County, Texas.

439 MANSFIELD CARDINAL ROAD
 LAND TITLE SURVEY
 LOT 1-R, BLOCK 1
 HARRIS HILL ESTATE
 SITUATED IN THE
 J. B. RENFRO SURVEY, ABSTRACT NO. 1260
 CITY OF KENNEDALE, TARRANT COUNTY, TEXAS

BLUESTAR SURVEYING
 1400 W. 14TH STREET, SUITE 100
 FORT WORTH, TEXAS 76104
 (817) 336-1111
 www.bluestarsurveying.com

Real Property



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- 2. 1/4" DIA. IRON PIN
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- 100. 1/4" DIA. IRON PIN

ORDINANCE NO. 713
EXHIBIT "B"
The Cardinal in Kennedale
A Senior Development – Development Standards

The use of the Property shall be subject to the restrictions, terms and conditions set forth in the Planned Development standards stated below.

- 1) Property location and size.
The Cardinal Tiny Home Senior Development (Subject Property) is established on property located at 439 Mansfield Cardinal Rd. This Planned Development is comprised of 1 tract of land consisting of approximately 6 acres, more particularly shown on the Site Plan, which is attached hereto for all purposes.
- 2) Purpose
To create a Planned Development for forty-six (46) single family residential lots for Seniors aged 55 years of age and older. The minimum gross density and a net density are as shown on the Site Plan. An entry feature will be provided at the connection point to Mansfield Cardinal Road. This neighborhood will meet at least 5 of the qualifying conditions as laid out in Section 9.2.C of the Unified Development Code (UDC). These conditions include: 2) a pedestrian-oriented design, 3) high quality architectural design beyond the site plan requirements of this article; 4) extensive landscaping beyond the site plan requirements of this article; 7) provision of open space or public plazas and features.
- 3) Development plan.
The proposed Site Plan, plans and designs in Exhibit C will be in complete accordance with the provisions of the approved Planned Development and shall be binding upon the applicant thereof, his successors and assigns, and shall limit and control building permits.
- 4) Lot composition and layout.
The lot layout and composition shall conform to the Site Plan and the requirements of Table 1 below. A minimum of 75% of lots shall conform to a size of Lot Type B or larger. A maximum of two lots may be combined into one if homeowner desires more space. A maximum of 50% of lots may be combined.

Table 1: Lot Composition

Lot Type	Lot Size (ft)	Lot Area (sf)
A	25 x 50	1,250
B	30 x 60	1,800

- 5) Unless specifically provided by this Planned Development Ordinance, the development standards stipulated by the Single-Family Residential District (R-4) are applicable to all development on the Subject Property. The maximum permissible density for the Subject Property shall not exceed 8 dwelling units per

gross acre of land; however, in no case should the proposed development exceed 46 units. All lots shall conform to the standards depicted in Table 2, which is as follows:

Table 2: Lot Dimensional Requirements

Lot Type	A	B
Minimum Lot Width/Frontage	25	30
Minimum Lot Depth	50	60
Minimum Lot Area	1,200	1,800
Minimum Front Setback	10	10
Minimum Side Setback	5	5
Min Side Adjacent to Street	10	10
Maximum Height	20	20
Minimum Rear Setback	10	10
Minimum Area/Dwelling	399	399
Maximum Lot Coverage *	75%	75%

*Inclusive of porches

- 6) No homes may be on wheels.
- 7) All structures that are built off-site will be required to show approval by the Texas Industrialized Building Code Council.

Community Architectural Controls.

Images shown in Exhibit C represent the type of architectural design allowed for this community.

- A) Architectural attributes for this residential development will consist of the following:
 - a. All asphalt roof shingles will be laminated architectural shingles with a three-dimensional appearance and warranted for at least (30) years.
 - i. Roof Materials.
 - 1. All roof shingles shall be an architectural or dimensional shingle (3-Tab Roofing Shingles are prohibited).
 - b. A minimum of overall 6:12 roof pitch is required on all structures with the exception of sunrooms, covered patios, and porches, which shall have a minimum of a 4:12 roof pitch.
 - c. In every dwelling unit of two or more rooms, every room occupied for sleeping purposes by one occupant shall contain at least 70 square feet of floor space, and every room occupied for sleeping purposes by more than

one occupant shall contain at least 50 square feet of floor space for each occupant thereof.

- d. Every habitable room, foyer, bathroom, hall or corridor shall have a ceiling height of at least seven feet. If any room has a sloping ceiling, the prescribed ceiling height for the room is required in only one-half of the area thereof, but the floor area of that part of any room where the total floor area of the room for the purpose of determining the maximum permissible occupancy thereof.
- e. All homes shall include a front porch and either a side or rear porch, and all homes shall be placed on concrete slab on grade foundations.
 - i. Porches shall be oriented towards common open space or street and designed to provide a sense of privacy between units. Porches shall be a minimum of 80 (eighty) square feet and a minimum of eight feet deep on the common open space side of the building. The square footage of the porch may be reduced to sixty square feet (six by ten feet deep) on units less than six hundred total gross square feet.
 - ii. Secondary entrances on homes facing the parking and sidewalk are required to have a minimum five-by-five foot rear or side porch.
- f. Each home shall have a minimum of one parking space and parking spaces shall be provided around the perimeter of the development as shown on the concept plan below. No parking shall be allowed within the front setback.
- g. Pedestrian lighting shall be provided along all walkways consistent with the design of the neighborhood, distinguished from lights on adjacent or nearby arterial streets and sufficient to provide lighting along walkways. Lighting may be provided by pedestrian light poles or other lower level lighting.
 - i. Any light poles shall not exceed 20-feet in total height (i.e. base and lighting standard). All fixtures shall be directed downward and be positioned to contain all light within the development area.
- h. Centralized common area: The common open space area shall include usable public spaces such as lawn, gardens, patios, plazas or scenic viewing areas. Common tables, chairs and benches are encouraged with all homes having access to it.
 - i. Three hundred square feet of common open space is required per unit.
 - ii. A minimum of fifty percent of units must have the main entry on the common open space.

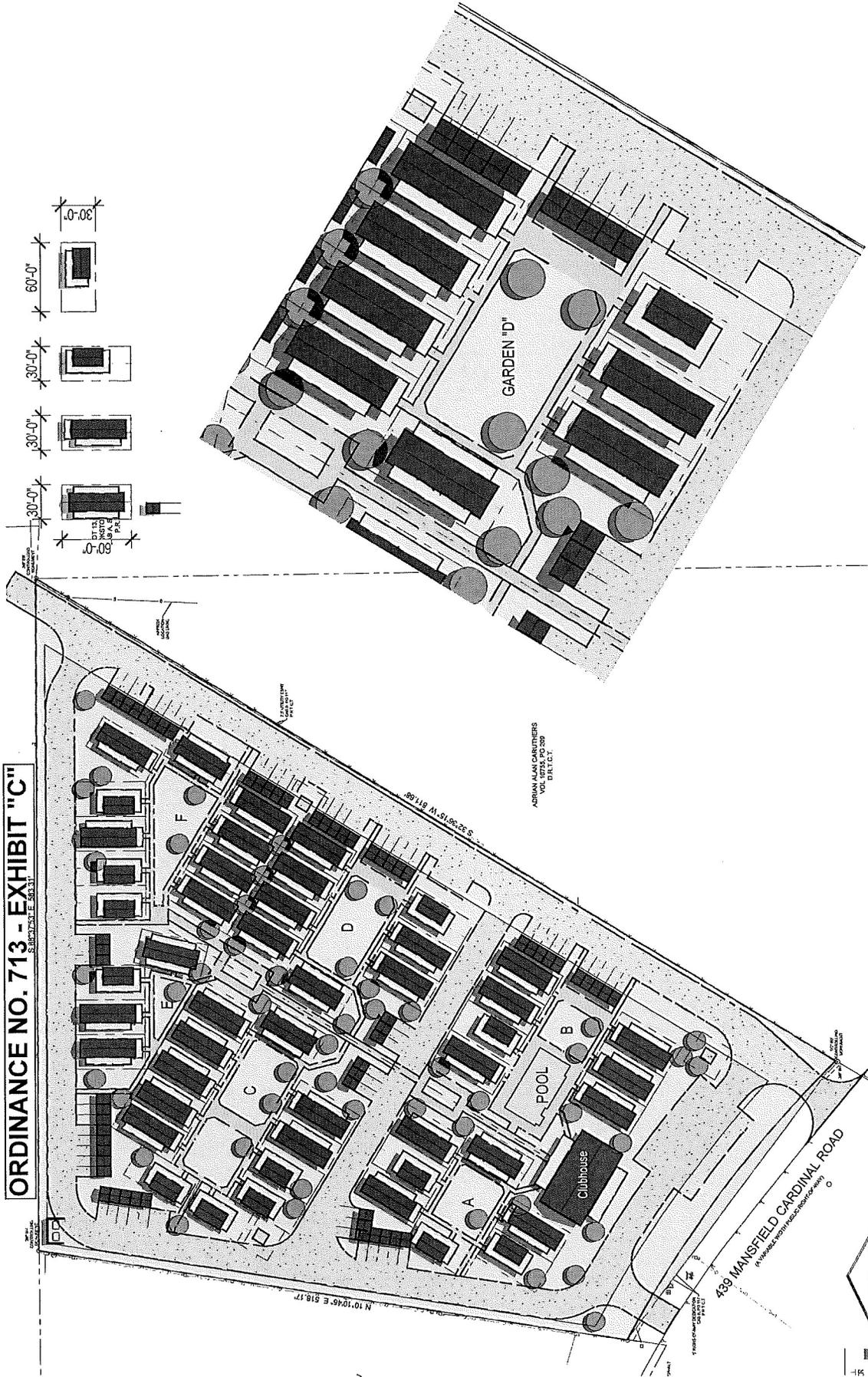
- iii. All homes must be within ten feet of each common open space(s). Setbacks cannot be counted towards the common open space calculation.
 - iv. The principle common open space must be located centrally to the pocket neighborhood. Additional common open space can only account for twenty-five percent of the total requirement with trails and pathways connecting the total development. Passive trails are allowed and may count towards the common open space requirement.
 - v. Community buildings or clubhouses can be counted towards the common open space calculation.
 - vi. Tiny Houses must surround the common open space on the minimum of two sides of the green space.
 - vii. Common open space shall be located outside of stormwater/detention ponds, wetlands, streams, lakes and critical area buffers, and cannot be located on slopes greater than ten percent.
- i. All common open space, landscaping in open space areas, private roads, drainage areas and masonry columns will have a mandatory Home Owners' Association (HOA) to maintain those improvements.
 - j. Utility, Service and Mechanical Equipment
 - i. All equipment related to utilities intended to serve one Lot shall be installed by the Owner of the Lot and shall be located underground if possible.
 - ii. All services to the Lot, including pre-wiring for cable television, must be installed underground if available.
 - iii. Ground-mounted mechanical equipment, such as HVAC units, shall be screened from view and grouped together away from street and public view. Private, surface-mounted mechanical equipment, air conditioners, condensers, compressors, pool equipment, switches, etc. should be placed behind the side yard fence of a Lot.
 - k. Fences – Any perimeter fencing and gates, if installed, shall be transparent, of quality, durable material such as wrought iron, and no taller than six feet.
 - l. Sidewalk Requirements
 - i. Sidewalks will be required to be installed throughout the development along the front of any homes not fronting a common area with trails.
 - ii. Common greenspace areas may have trails in lieu of sidewalks that must be connected to other trails or sidewalks throughout the community.

- iii. All homes must have sidewalks and/or trails along the front of the property or in a common area immediately adjacent to the front of the property.
- iv. All trails and sidewalks will be a minimum of (5) five feet wide and shall be made of natural materials, such as crushed granite, gravel or other stable material suitable for walking paths.

m. Homeowners' Association

- i. Homeowner's Association (HOA). A Homeowner's Association shall be created to enforce the restrictions established in accordance with the HOA requirements of the City of Kennedale UDC. The HOA shall also maintain all neighborhood parks, trails, open space and common areas, irrigation, landscaping, amenity centers, screening fences associated with this development.

ORDINANCE NO. 713 - EXHIBIT "C"



102 ARCHITECTURE

HKS

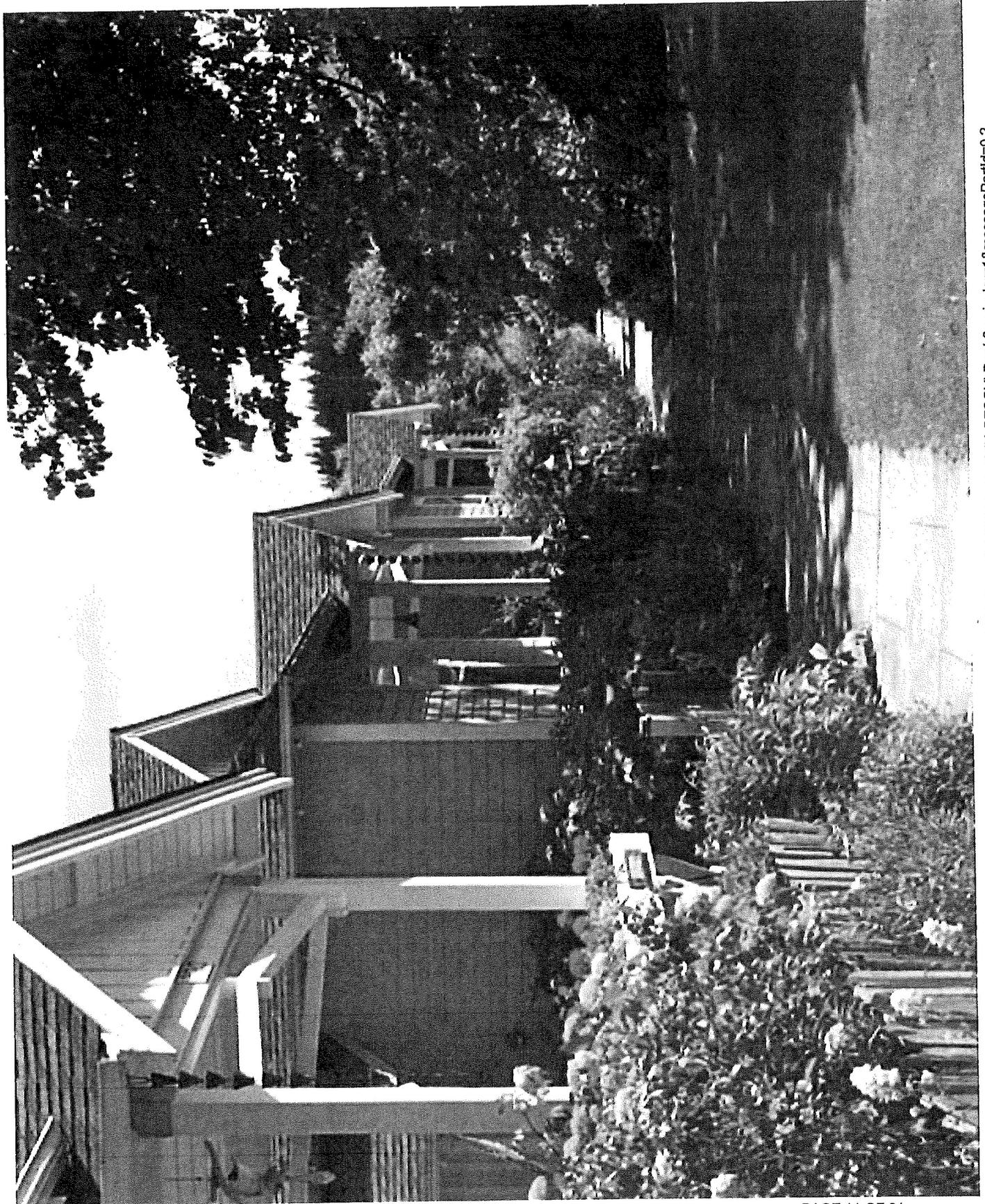
The Cardinal
Kennedale Active Adult

SITE PLAN - Option A

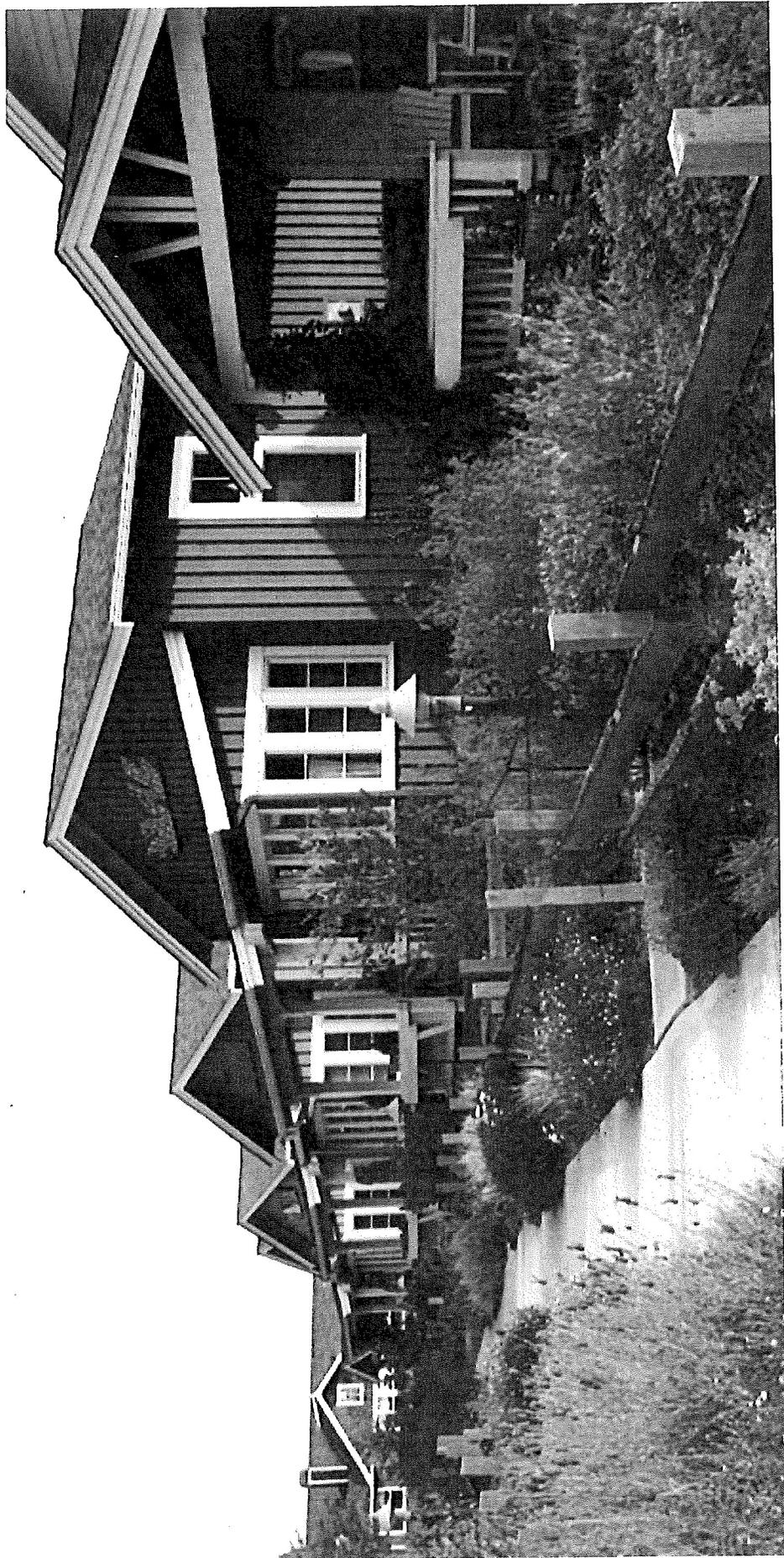
As indicated | 20016

| Sept 1, 2020

NOT FOR CONSTRUCTION CITY OF KENNEDALE, TX 2020







Specifications

FLOOR SYSTEM

- 6"x6" P.T Runners
- 2"x8" P.T Floor Joists @/16" o.c.
- 5/8" BC Plywood floor decking
- Laminate Floor covering
- R-19 Insulation
- Tyvek Under Wrap

WALL –SYSTEM EXTERIOR

- 8' or 7' Side walls, per model
- 2"x6" SPF stud @ 16 o.c w/double top plates
- 7/16" OSB Sheathing
- R-19 Insulation
- Tyvek House wrap
- Cedar Trim
- Continuous Eave Vent

WALL SYSTEM – INTERIOR

- 2"x4" SPF Studs @ 16 o.c w/double top plates
- Clear finish 1"x6" Lodgepole Pine
- Clear finish 2"x6" T&G Cedar Wainscot
- Clear finish 1"x4" Knotty Pine trim

EXTERIOR SIDING OPTIONS

- 2"x6" Western Red Cedar Log Siding
- 2"x8" Northern White Cedar Hand Hewn Log Siding
- 1"x8" Western Red Cedar Beveled Lap Siding
- 1"x8" LP SmartSide Lap Siding

ROOF SYSTEM

- 2"x12" SYP Rafters @ 24" o.c.
- 7/16" OSB Sheathing
- Synthetic Underlayment
- 29 gauge Panel Loc Plus© Metal (Class 4)
- Roof pitch 6:12, per plan
- R -30 Insulation
- Lodgepole Pine Ceiling
- Continuous Ridge Vent
- Rafter Vent

ELECTRICAL

- 200 Amp Service panel
- (2) Exterior Porch light
- Basic lighting package, per plan
- Antique Bronze Ceiling fans
- Smoke Detectors Hard Wired with Battery backup
- Mitsubishi Mini-split AC/Heat System

PLUMBING

- PEX© Water lines with copper fittings
- ¾" Main line with ½" Supply lines, In-line shut-off at each fixture
- All drains vented
- Waste drain stubbed out
- 20/30/50 Gallon Water Heater , per plan

Options: Frost-free Exterior faucet

BATH

- Fiberglass 5' tub/shower or shower, per plan
- White Pedestal sink
- Elongated Toilets
- Brushed Bronze Fixtures
- Mirror
- 18" towel bar
- Tissue holder
- Hand Towel Ring

KITCHEN

- Pine Hardwood cabinets
- Laminate countertop w/laminate backplash
- Stainless Steel Double or Single Sink, per plan
- Full Electric Oven/Range
- Brushed Bronze Fixtures

WINDOWS & DOORS

- Low-E Clay Double Pane Vinyl windows
- 36" Fiberglass Wood Finish with Texas Star glass insert
- 6 Panel Solid Pine interior doors

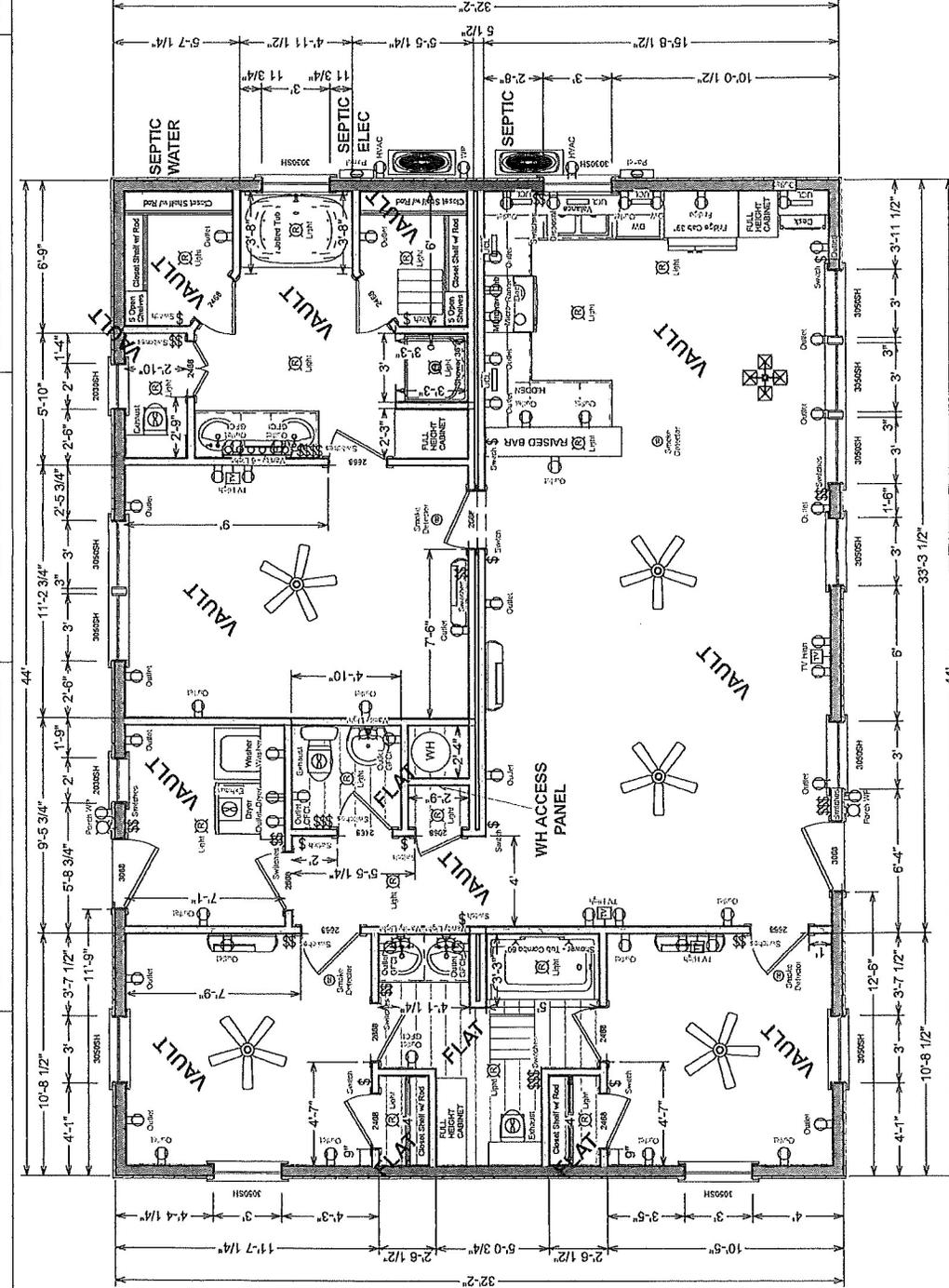
32X44 MOOSE CREEK

MASTER

SERIAL#:

REV: A

STANDARD SPECIFICATIONS



ROOF STYLE	GABLE
METAL ROOF	POREST
EXTERIOR SIDING	CEDAR LOG
INTERIOR WALLS	PINE
LOFT	NONE
CEILING	PINE
CLOSETS	CEDAR
CLOSET CEILING	SEE PLAN
BATHROOM CEILING	SEE PLAN
BATHROOM FLOOR	100% WATER PROOF VINYL - MIEHLIN
FLOORING	MOCHA LAMINATE
CABINETS	PINE
COUNTER TOPS	LAMINATE - BARRA GRANITE
HVAC SYSTEM	MINS-SPILT
ENTRY DOORS	PREMIUM TEXAS STAR
WINDOWS	ALL VINYL - NO GRID

CUSTOM OPTIONS	
DECK#:	
PORCH SPECIFICATIONS	
FRONT PORCH	
SIZE	NONE
POST TYPE	NONE
RAILING	NONE
BACK PORCH	
SIZE	NONE
POST TYPE	NONE
RAILING	NONE
SHIRTING	MOCHA

NOT INCLUDED	
Refrigerator	
Washer / Dryer	
Furniture	
Blinds / Curtains	
Utility Hookups	
Site / Pad Preparations	
Fork Lift Rental Fees	

LAYOUT REV: 1

Customer Name: _____
 Delivery Address: _____
 City, State, Zip: _____
 Cabin Designer: Chris Fenn
 Contact Info: chris@ulrichcabins.com 817-506-4441

Customer Signature

Date



32X44 MOOSE CREEK

PLUMBING

SERIAL#:

REV: A

STANDARD SPECIFICATIONS

ROOF STYLE	GABLE
METAL ROOF	FOREST
EXTERIOR SIDING	CEDAR LOG
INTERIOR WALLS	PINE
LOFT	NONE
CEILING	PINE
CLOSETS	CEDAR
CLOSET CEILING	SEE PLAN
BATHROOM CEILING	SEE PLAN
BATHROOM FLOOR	100% WATER PROOF VINYL - MERLIN
FLOORING	KOCHA LAMINATE
CABINETS	PINE
COUNTER TOPS	LAMINATE - BAHIA GRANITE
HVAC SYSTEM	MINSPLAT
ENTRY DOORS	PREMIUM TEXAS STAR
WINDOWS	ALL VINYL - NO GRID

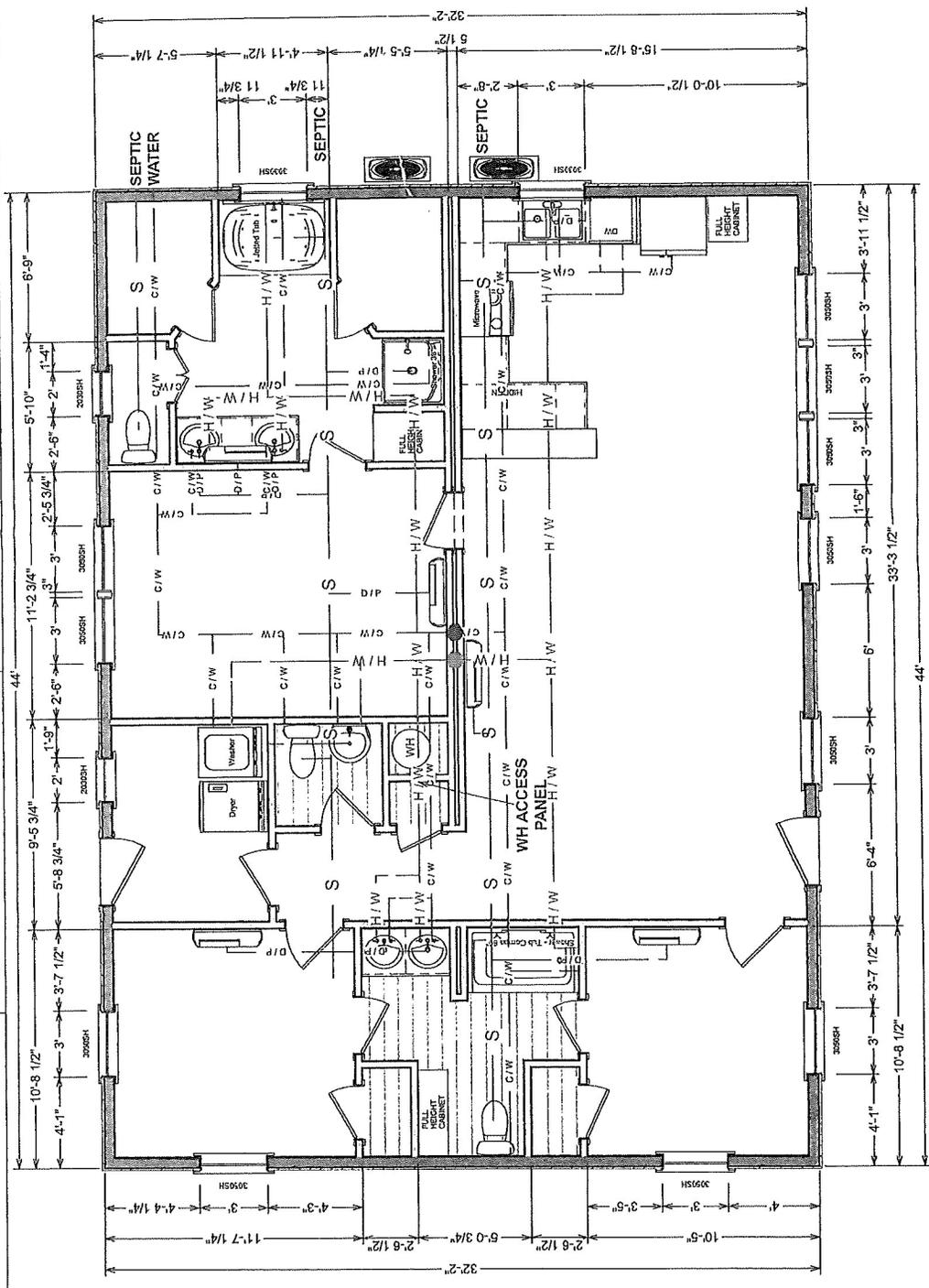
CUSTOM OPTIONS

DECK#:
 WATER HEATER: 50 GALLON
 SEPTIC LINE: 3"
 DRAIN LINE: 2"

NOT INCLUDED

- Refrigerator
- Washer / Dryer
- Furniture
- Blinds / Curtains
- Utility Hooks
- Site / Pad Preparations
- Fork Lift Rental Fees

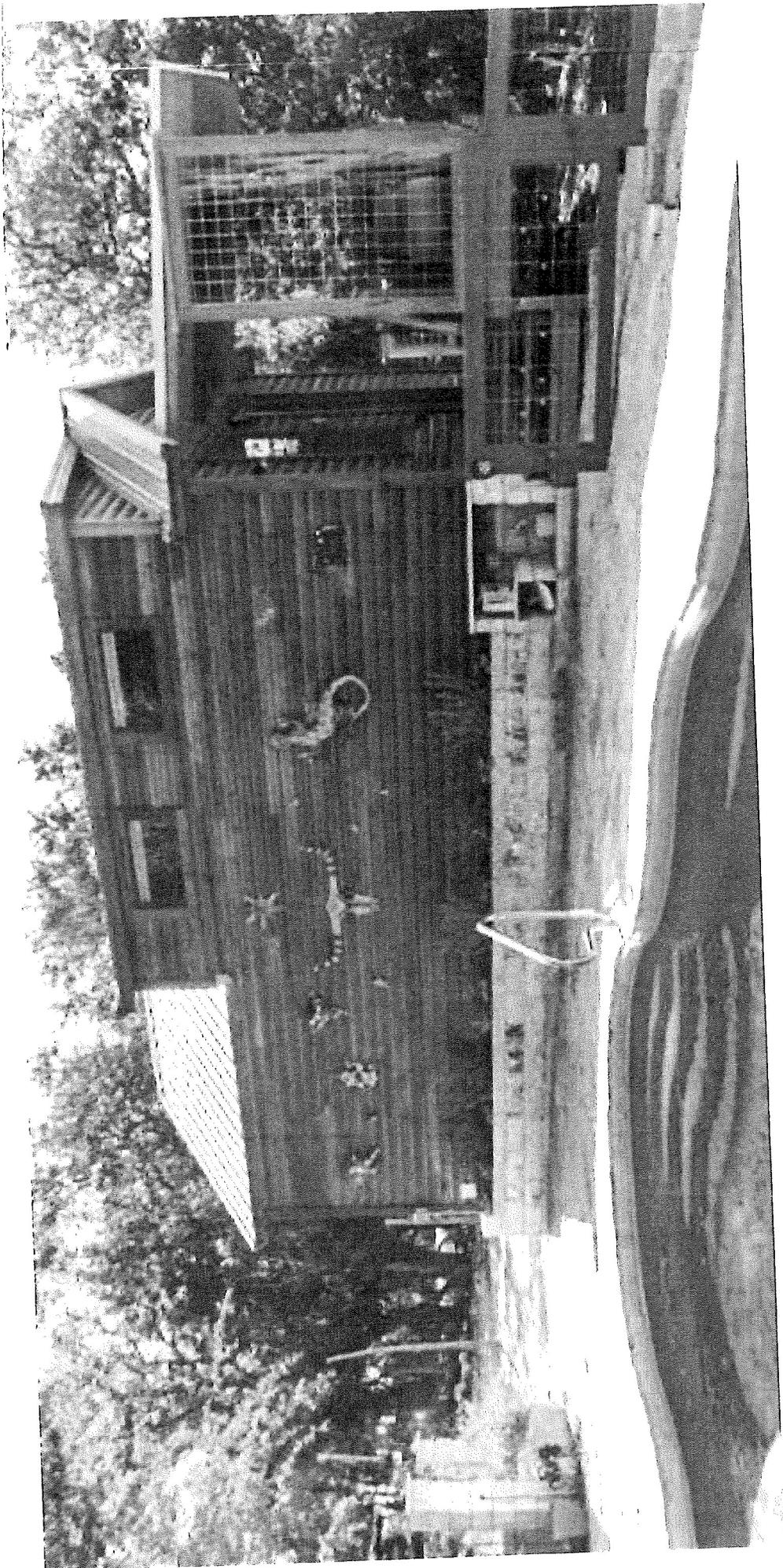
LAYOUT
REV: 1



Customer Name: _____
 Delivery Address: _____
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 Cabin Designer: Chris Fenn
 Contact Info: chris@ulrichcabins.com 817-506-4441

X _____ Date _____
 _____ Customer Signature

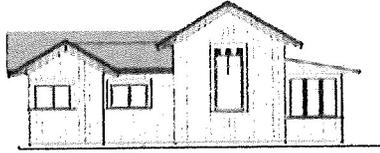
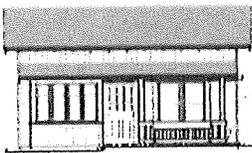
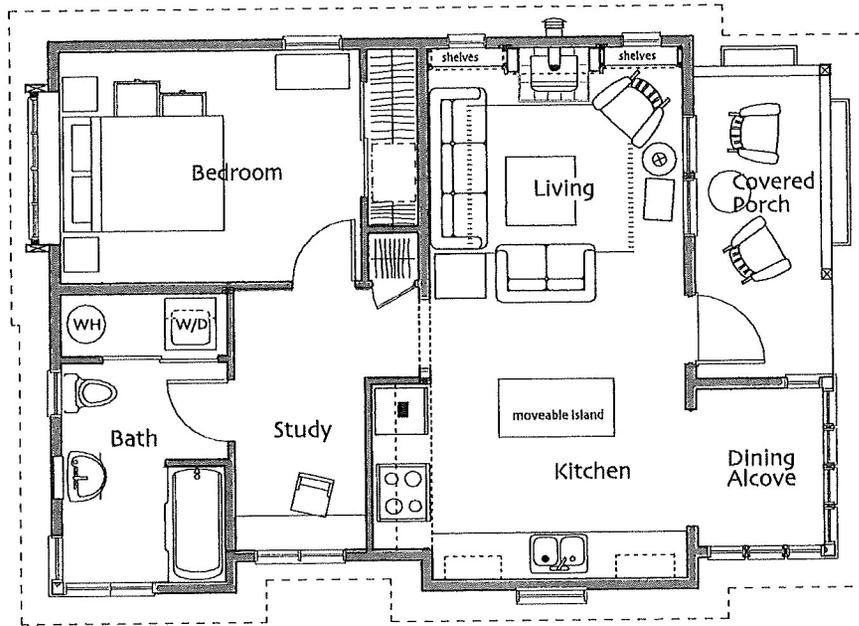
ULRICH
 PLEASE RELAX... ENJOY
 Ulrich Log Cabins
 2000 Melissa Lane
 Cleburne, TX 76031
 www.ulrichcabins.com



First Floor
 Living/Kitchen 11' x 23'
 Dining Alcove 6'-10" x 6"
 Bedroom 1 10' x 15'-6"
 Study 5'-8" x 11'-4"
 Bath full w/Laundry

Total Heated Area 708 sq ft

Footprint 24' x 34'

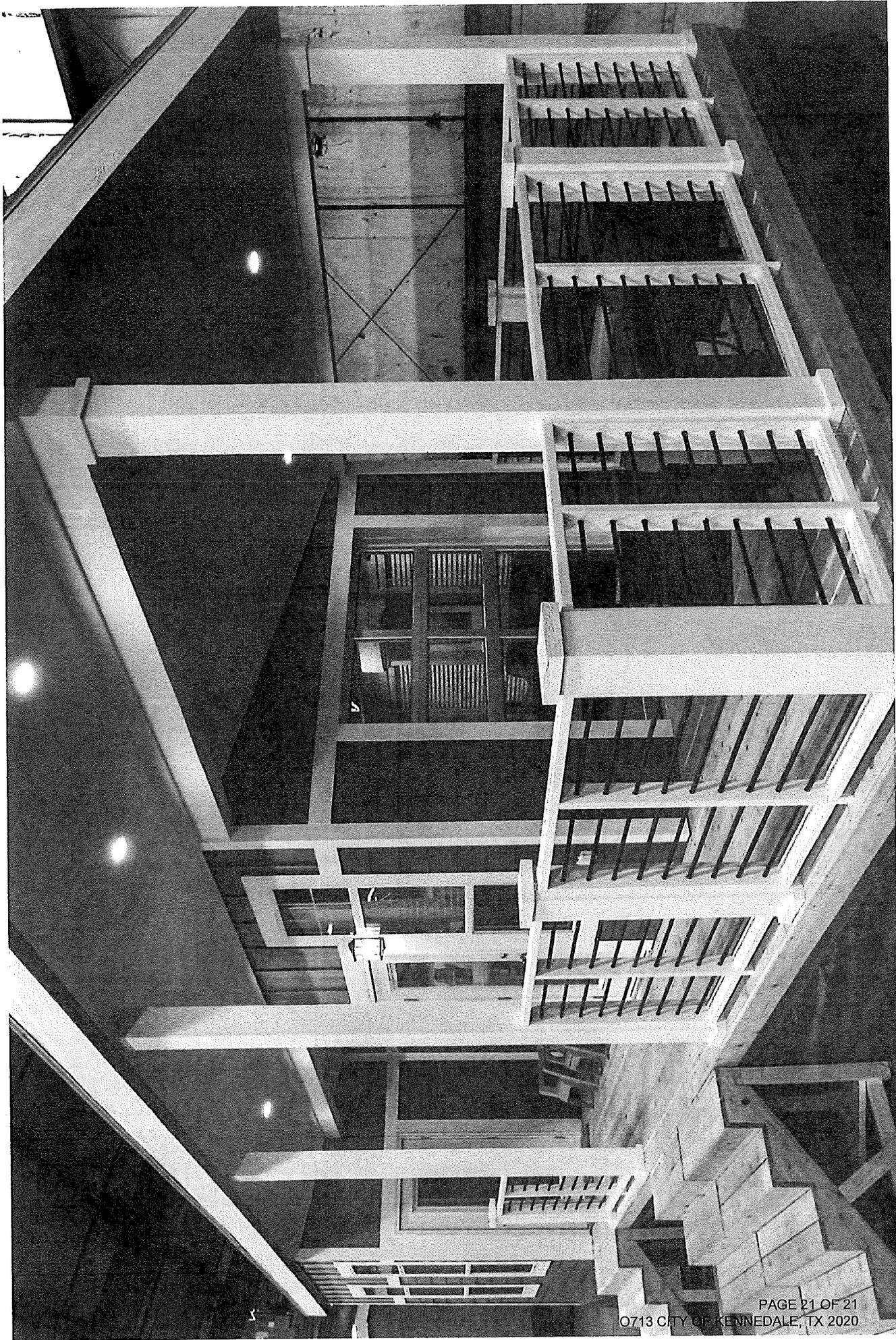


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GoodFit
 Cottages and Small Houses

PO Box 230 • Langley, Washington 98260 • plans@rosschaplin.com • www.rosschaplin.com

Betty Lu



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Order Confirmation

Customer
CITY OF KENNEDALE

Customer Account
600629

Customer Address
405 MUNICIPAL DR
KENNEDEALE TX 760602249 USA

Customer Phone
817-360-0522

Customer Fax

Sales Rep
agrisham@mcclatchy.com

Payor Customer
CITY OF KENNEDALE

Payor Account
600629

Payor Address
405 MUNICIPAL DR
KENNEDEALE TX 760602249 USA

Payor Phone
817-360-0522

Customer EMail
rericson@cityofkennedale.com

Order Taker
agrisham@mcclatchy.com

<u>PO Number</u>	<u>Payment Method</u>	<u>Blind Box</u>	<u>Tear Sheets</u>	<u>Proofs</u>	<u>Affidavits</u>
	Invoice		0	0	1

<u>Net Amount</u>	<u>Tax Amount</u>	<u>Total Amount</u>	<u>Payment Amount</u>	<u>Amount Due</u>
\$128.97	\$0.00	\$128.97	\$0.00	\$128.97

<u>Ad Order Number</u>	<u>Order Source</u>	<u>Ordered By</u>	<u>Special Pricing</u>
0004761978		LESLIE E. GALLOWAY	

<u>Invoice Text</u>	<u>Promo Type</u>

<u>Package Buy</u>	<u>Materials</u>

Ad Order Information

Ad Number **Ad Type** **Production Method** **Production Notes**
0004761978-01 FTW-Legal Liner AdBooker

External Ad Number **Ad Attributes** **Ad Released** **Pick Up**
No

Ad Size **Color**
1 X 87 li

Product **Placement** **Times Run** **Schedule Cost**
FTW- Star-Telegram 0300 - Legals Classified 1 \$113.97

Run Schedule Invoice Text **Position**
CITY OF KENNEDALE ORDINANCE NO. 713 AN C 0301 - Legals & Public Notices

Run Dates
09/23/2020

Product **Placement** **Times Run** **Schedule Cost**
FTW-Upsell ST.Com 0300 - Legals Classified 1 \$15.00

Run Schedule Invoice Text **Position**
CITY OF KENNEDALE ORDINANCE NO. 713 AN C 0301 - Legals & Public Notices

Run Dates
09/23/2020

CITY OF KENNEDALE ORDINANCE NO. 713 AN ORDINANCE AMENDING THE UNIFIED DEVELOPMENT CODE OF THE CITY OF KENNEDALE, TEXAS, BY CHANGING THE ZONING CLASSIFICATION OF CERTAIN PROPERTY WITHIN THE CITY LIMITS OF THE CITY OF KENNEDALE FROM "R3" RESIDENTIAL DISTRICT TO "PD" PLANNED DEVELOPMENT DISTRICT; PROVIDING FOR THE AMENDMENT OF THE OFFICIAL ZONING MAP TO REFLECT SUCH CHANGES; PROVIDING THAT THIS ORDINANCE SHALL BE CUMULATIVE OF ALL ORDINANCES; PROVIDING FOR A PENALTY FOR VIOLATIONS HEREOF; PROVIDING A SAVINGS CLAUSE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING FOR PUBLICATION IN THE OFFICIAL NEWSPAPER; AND PROVIDING AN EFFECTIVE DATE. THE COMPREHENSIVE ZONING ORDINANCE IS HEREBY AMENDED SO THAT THE ZONING CLASSIFICATION AND THE USES IN THE HEREINAFTER DESCRIBED AREA SHALL BE CHANGED AND/OR RESTRICTED AS SHOWN AND DESCRIBED BELOW; AN APPROXIMATELY 6 ACRE TRACT DESCRIBED AS 439 MANSFIELD CARDINAL ROAD, HARRIS HILLS ESTATE, BLOCK 1, LOT 1R, CITY OF KENNEDALE, TARRANT COUNTY, TEXAS ("THE PROPERTY"), AS MORE PARTICULARLY DESCRIBED ON EXHIBIT "A" ATTACHED HERETO AND INCORPORATED HEREIN; "R3" RESIDENTIAL DISTRICT TO "PD" PLANNED DEVELOPMENT DISTRICT. ANY PERSON, FIRM OR CORPORATION WHO VIOLATES, DISOBEYS, OMITTS, NEGLECTS, OR REFUSES TO COMPLY WITH OR WHO RESISTS ENFORCEMENT OF ANY OF THE PROVISIONS OF THIS ORDINANCE SHALL BE FINED NOT MORE THAN TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE. EACH DAY THAT A VIOLATION IS PERMITTED TO EXIST SHALL CONSTITUTE A SEPARATE OFFENSE. THE CITY SECRETARY OF THE CITY OF KENNEDALE IS HEREBY DIRECTED TO PUBLISH THE CAPTION, SECTION 1, THE PENALTY CLAUSE, THE PUBLICATION CLAUSE, AND THE EFFECTIVE DATE CLAUSE OF THIS ORDINANCE IN EVERY ISSUE OF THE OFFICIAL NEWSPAPER OF THE CITY OF KENNEDALE FOR TWO DAYS OR ONE ISSUE OF THE NEWSPAPER IF THE OFFICIAL NEWSPAPER IS A WEEKLY NEWSPAPER AS AUTHORIZED BY SECTION 3.10 OF THE CITY OF KENNEDALE CHARTER. THIS ORDINANCE SHALL BE IN FULL FORCE AND EFFECT FROM AND AFTER ITS PASSAGE AND PUBLICATION AS REQUIRED BY LAW AND IT IS SO ORDAINED. DULY PASSED, ADOPTED, AND APPROVED BY THE CITY COUNCIL OF THE CITY OF KENNEDALE, TEXAS, ON THE 15TH DAY OF SEPTEMBER, 2020. APPROVED /S/ MAYOR BRIAN JOHNSON / ATTEST /S/ CITY SECRETARY LESLIE E. GALLOWAY / APPROVED AS TO FORM AND LEGALITY /S/ CITY ATTORNEY DREW LARKIN